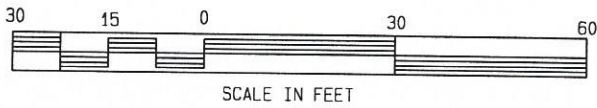


LINE	BEARING	DISTANCE
L1	N 61° 04' 34" E	27.33
L2	S 02° 09' 06" W	43.99

- LEGEND:
- X PROPOSED WATER METER
 - △ PROP. SEWER CLEAN OUT
 - EXISTING MANHOLE
 - r PROPOSED RADIUS



- GENERAL NOTES:
1. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES MEASURED IN U.S. SURVEY FEET.
 2. AREAS COMPUTED BY COORDINATE METHOD.
 3. THIS SURVEY DONE WITHOUT THE BENEFIT OF A TITLE SEARCH.
 4. ALL IRONS FOUND ARE FLUSH WITH GROUND UNLESS OTHERWISE NOTED.
 5. ANY DRAINAGEWAYS SHOWN HEREON AND/OR ADJACENT TO THIS SITE MAY CREATE ADDITIONAL BUFFERS CLAIMED BY THE STATE OF NORTH CAROLINA OR OTHER REGULATORY AGENCY.

VICINITY MAP
NOT TO SCALE

SITE DATA TABLE:
 PIN: WAITING ON WAKE COUNTY
 ZONING: R-10
 OVERLAY DISTRICT: SRPOD
 CURRENT USE: RESIDENTIAL
 EXISTING IMPERVIOUS: UNKNOWN
 INFILL STATUS: DOES NOT APPLY
 ALLOWED HEIGHT: 40'/3 STORIES
 SETBACKS: FRONT: TBD
 REAR: 20'
 SIDE: 5'
 BUILDING SQUARE FOOTAGE: _____ SF
 PROPOSED IMPERVIOUS: _____ SF

LOT 1
BoM 1986 Pg 858

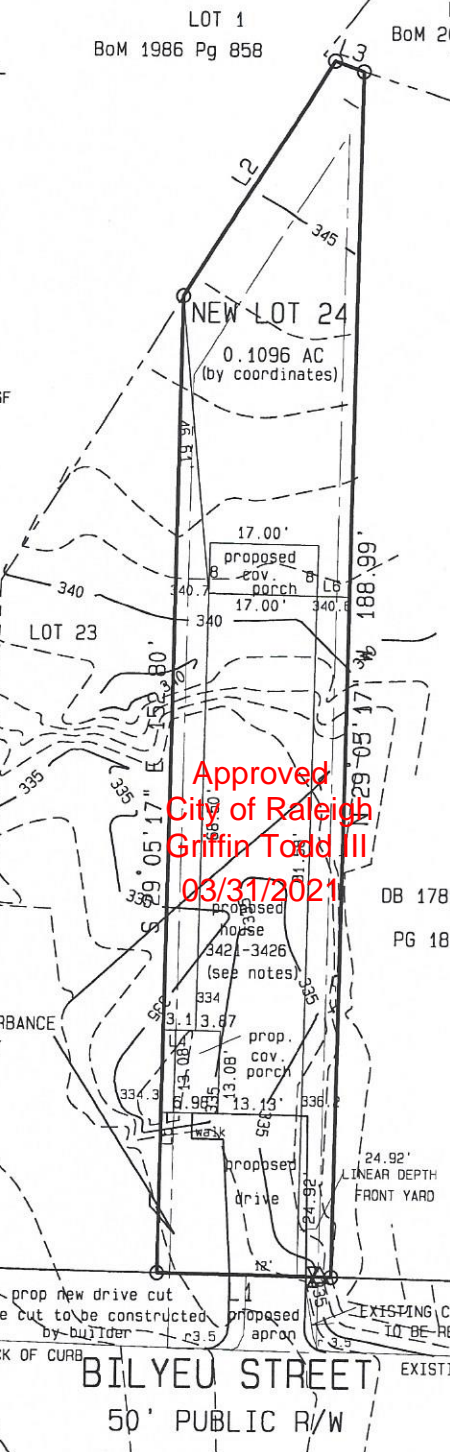
LOT 34
BoM 2015 Pg 238

- NOTES:
1. THE BUILDER MUST VERIFY DIMENSIONS PRIOR TO FIELD STAKING.
 2. BUILDER ACCEPTS ALL RESPONSIBILITY FOR ANY SETBACK VIOLATION.
 3. DRIVES, WALK, PATIOS, PORCHES & DECKS NOT STAKED IN THE FIELD.

SRPOD OVERLAY CALCULATIONS:
 (24.92' X 12) +380 = 679.04
 OR
 FRONT YARD 798 SF X 40% = 319 SF
 PROPOSED DRIVE +/- 317 SF

PROPOSED IMPERVIOUS SURFACE AREA

HOUSE	+/- 1336 SF
COVERED PORCH (REAR)	+/- 136 SF
COVERED PORCH (FRONT)	+/- 93 SF
DRIVE/WALK	+/- 342 SF
HVAC PAD	+/- 09 SF
TOTAL	+/- 1916 SF OR 40.14%
LOT TOTAL	4773 SF



LINE	DISTANCE
L3	4.76
L4	5.07
L5	1.92
L6	5.07

Approved
 City of Raleigh
 Griffin Todd III
 03/31/2021

REF: BoM 2020 Pg 1358

PRELIMINARY FOR REVIEW
PURPOSES ONLY

TBM
TOP OF MANHOLE
326.5'
511 BILYEU STREET

BILYEU STREET
50' PUBLIC R/W

REV: 17 MARCH 2021
 rev: 10 feb. 2021
 REVISED: 04 FEB. 2021

BOOK OF MAPS 2020 PAGE 1358 DEED BOOK 9395 PAGE 127 * NOT FOR RECORDATION *

LOT 24 PULLEN PARK TERRACE

I, LEONARD H. SULLIVAN JR., DO HEREBY CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION USING REFERENCES SHOWN HEREON; THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES PLOTTED FROM INFORMATION SHOWN HEREON; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; THAT THIS PLAT MEETS THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56, 1600) WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER (L-2821) AND SEAL.

ALSO, I CERTIFY THAT THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

SRV'D: _____ DRAWN: MESS CHK'D: LHS JOB # _____ 20 DATE: 3 SEPTEMBER 2020 SCALE: 1" = 30'

SULLIVAN SURVEYING
 LAND SURVEYORS
 1143-D EXECUTIVE CIRCLE
 CARY, NORTH CAROLINA 27511
 TELEPHONE: (919) 469-4738

SURVEY FOR:
 A. SQUARED, L.L.C.
 CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA