



City of Raleigh
 Becky Stockdale
 07/08/2020

Corner Shop 3 Tereza

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PROJECT INFO

ADDRESS: 617 MAYWOOD AVE
 LOT: 02 CARAELIGH COMMONS
 SCOPE: SINGLE FAMILY RESIDENCE

WOOD FRAME STRUCTURE OVER
 CRAWLSPACE

RESIDENCE - 1576 SQFT

FLOOR 1 -
 HEATED - 531 SQFT
 UNHEATED - 84 SQFT (PORCH)

FLOOR 2 -
 HEATED - 480 SQFT
 UNHEATED - 0

FLOOR 3 -
 HEATED - 480 SQFT

ROOF
 HEATED - 85 SQFT
 ROOF DECK - 334 SQFT

PLUMBING, MECHANICAL, ELECTRICAL
 TO BE DESIGN BUILD PER NORTH
 CAROLINA RESIDENTIAL CODE

SITE NOTES

1. ALL SITE SERVICES PER CITY OF RALEIGH REQUIREMENTS
2. SLOPE EXTERIOR SLABS AWAY AT 2%
3. SLOPE GRADE AWAY AT 5% FOR A MINIMUM OF 5'

DESIGNED TO NC RESIDENTIAL
 BUILDING CODE 2019

NO.	DATE	REVISIONS
1		
2		
3		
4		
5		

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Corner Shop 3, Tereza

COVER PAGE



First Floor Plan
1/4" = 1' 0" **A1**

Second Floor Plan
1/4" = 1' 0" **A2**

Third Floor Plan
1/4" = 1' 0" **A3**

Roof Floor Plan
1/4" = 1' 0" **A4**

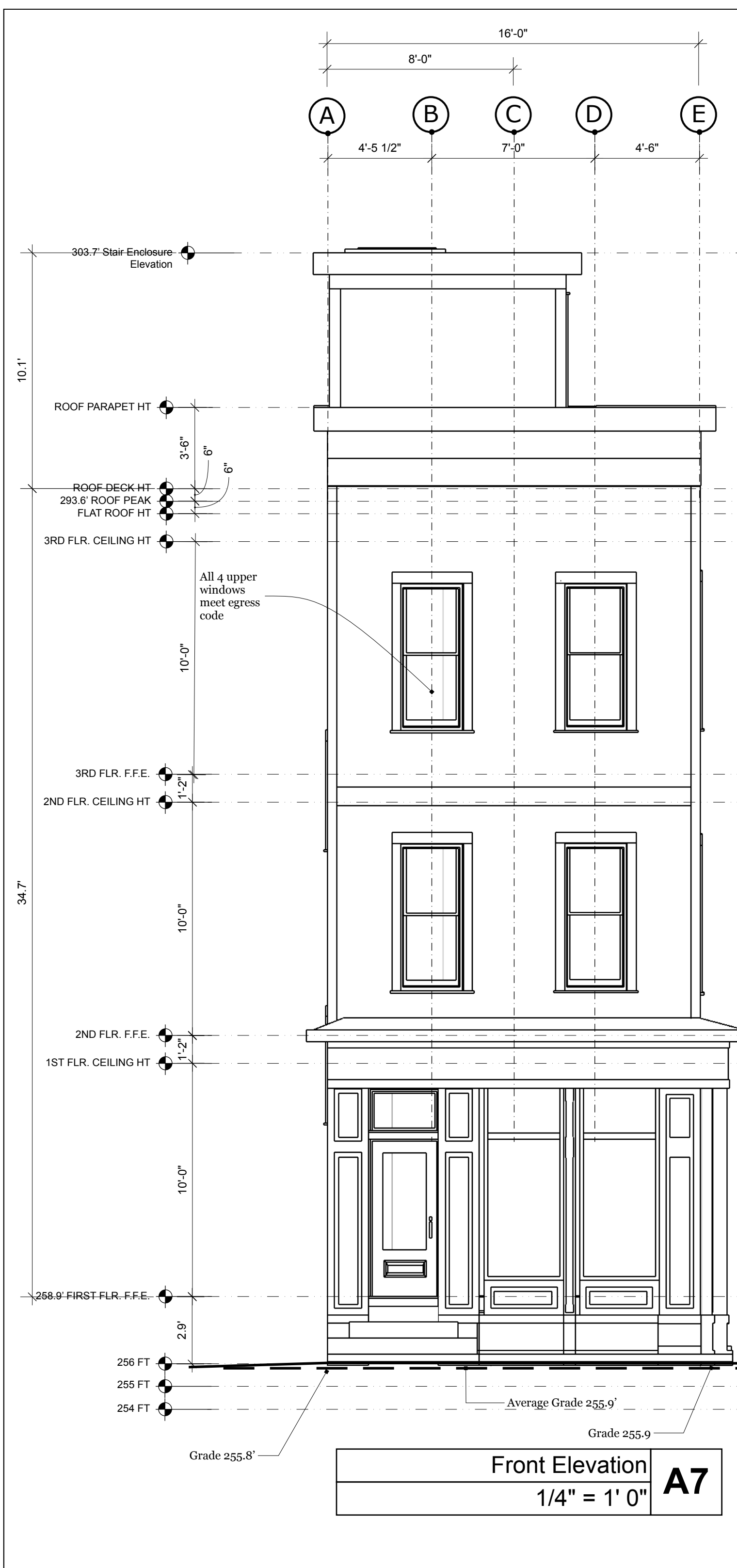
Framing Notes
 ALL DIMENSIONS ARE TO FINISHED WALLS UNLESS OTHERWISE NOTED
 Always install headers as high as possible on standard height walls and at 107.5" high on extra height walls
 Always use california corners and ladder wall connections
 Always frame 2x6 walls at the rear of laundry rooms
 Stack Laundry - see stack laundry detail about location of studs in rear of stack laundry

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FLOOR PLANS



AVERAGE GRADE CALCULATIONS

Facade	Left	Right	Ave
Front	255.8	255.9	255.9
Back	254.8	254.9	254.9
Facade	Back	Front	Ave
Right	254.9	255.9	255.4
Left	254.8	255.8	255.3
TOTAL AVERAGE GRADE			255.4

ROOF & STAIR ELEVATIONS

Highest Grade	255.9
Min foundation height	2.0
Floor system depth	1.0
FFE	258.9
FF to ROOF PEAK	34.7
ROOF PEAK ELEVATION	293.6
Stair Enclosure Height	10.1
STAIR ENCLOSURE ELEV.	303.7

HEIGHT CALCULATIONS

Ave grade to roof peak	38.2
Ave grade to stair roof	48.3

MAXIMUM HEIGHT BY CODE

Max Height	50.0
Stair Exemption	12 62.0

MAXIMUM ELEVATIONS BY CODE

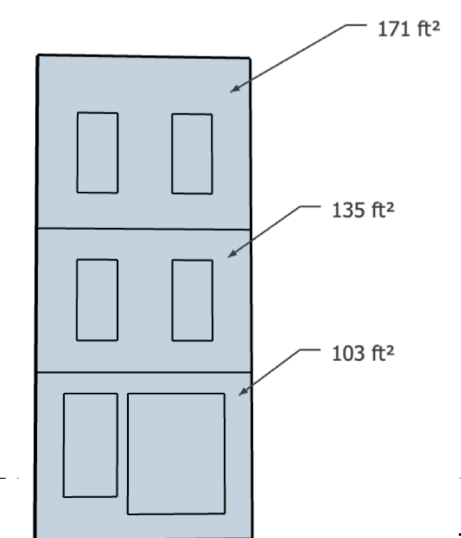
Max Roof Elevation	305.4
Max Stair Enclosure Elev.	367.4

TRANSPARENCY CALCULATIONS

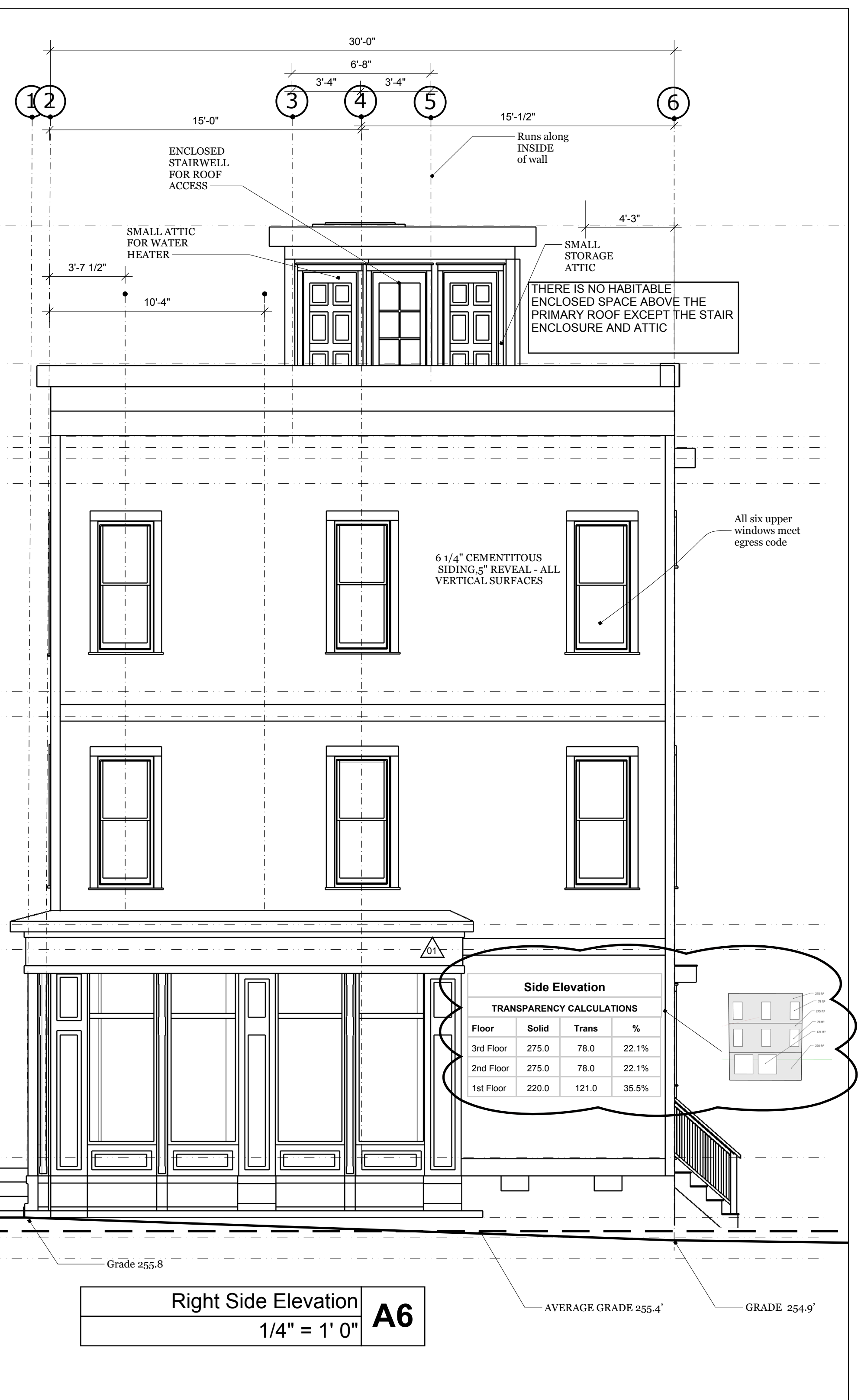
Floor	Solid	Trans	%
3rd Floor	171.0	36.0	17.4%
2nd Floor	135.0	36.0	21.1%
1st Floor	103.0	93.0	47.4%

Required Min Transparency

Upper Floors	15.00%
Ground Floor	20.00%



Front Elevation
1/4" = 1' 0" **A7**



Side Elevation

TRANSPARENCY CALCULATIONS

Floor	Solid	Trans	%
3rd Floor	275.0	78.0	22.1%
2nd Floor	275.0	78.0	22.1%
1st Floor	220.0	121.0	35.5%

Right Side Elevation
1/4" = 1' 0" **A6**

REVISONS	REMARKS	DATE	BY	CHK	APP

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ELEVATIONS

A	301
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Rear Elevation
1/4" = 1' 0" **A9**

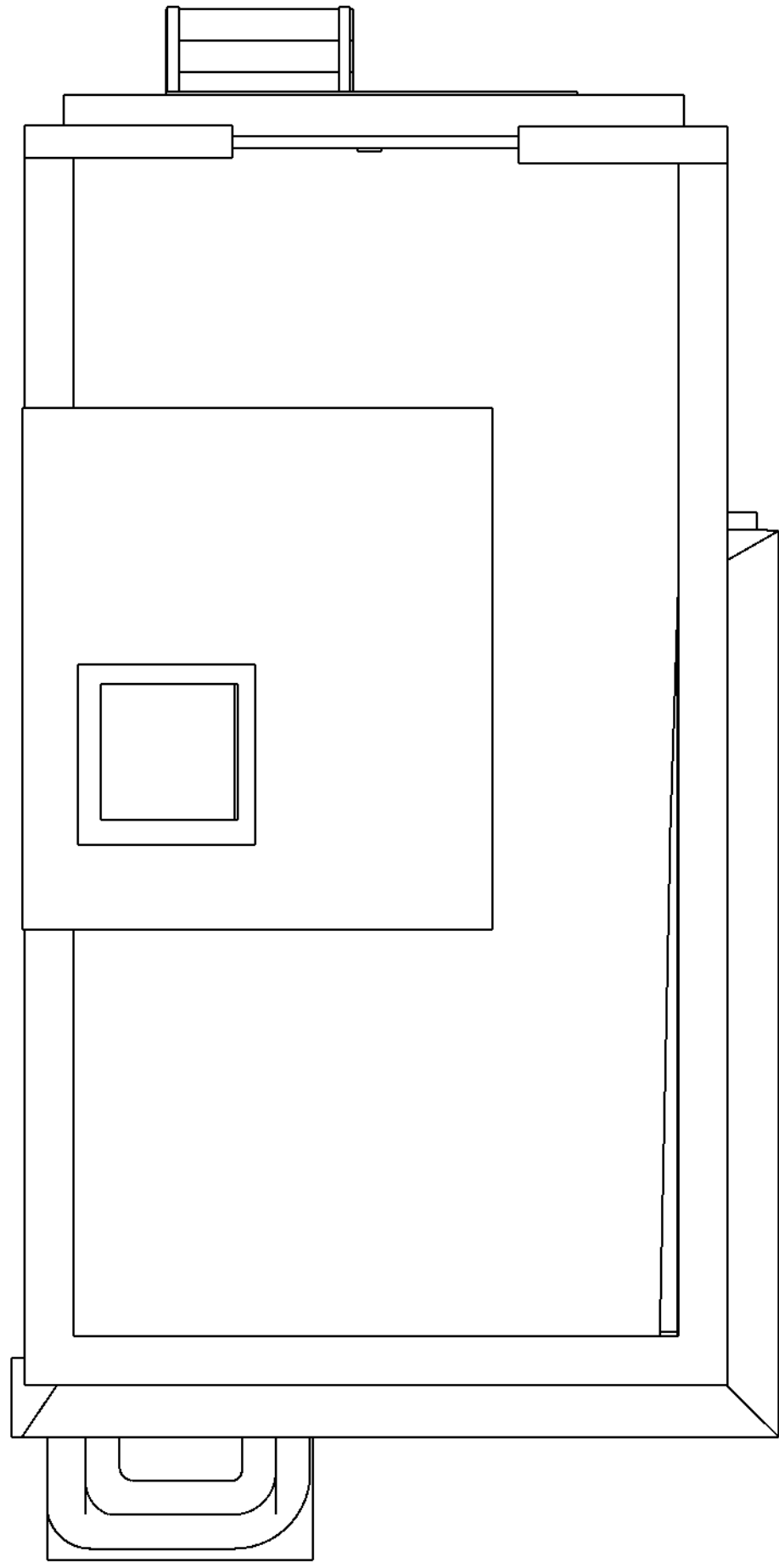
Left Side Elevation
1/4" = 1' 0" **A8**

REVISIONS	REMARKS
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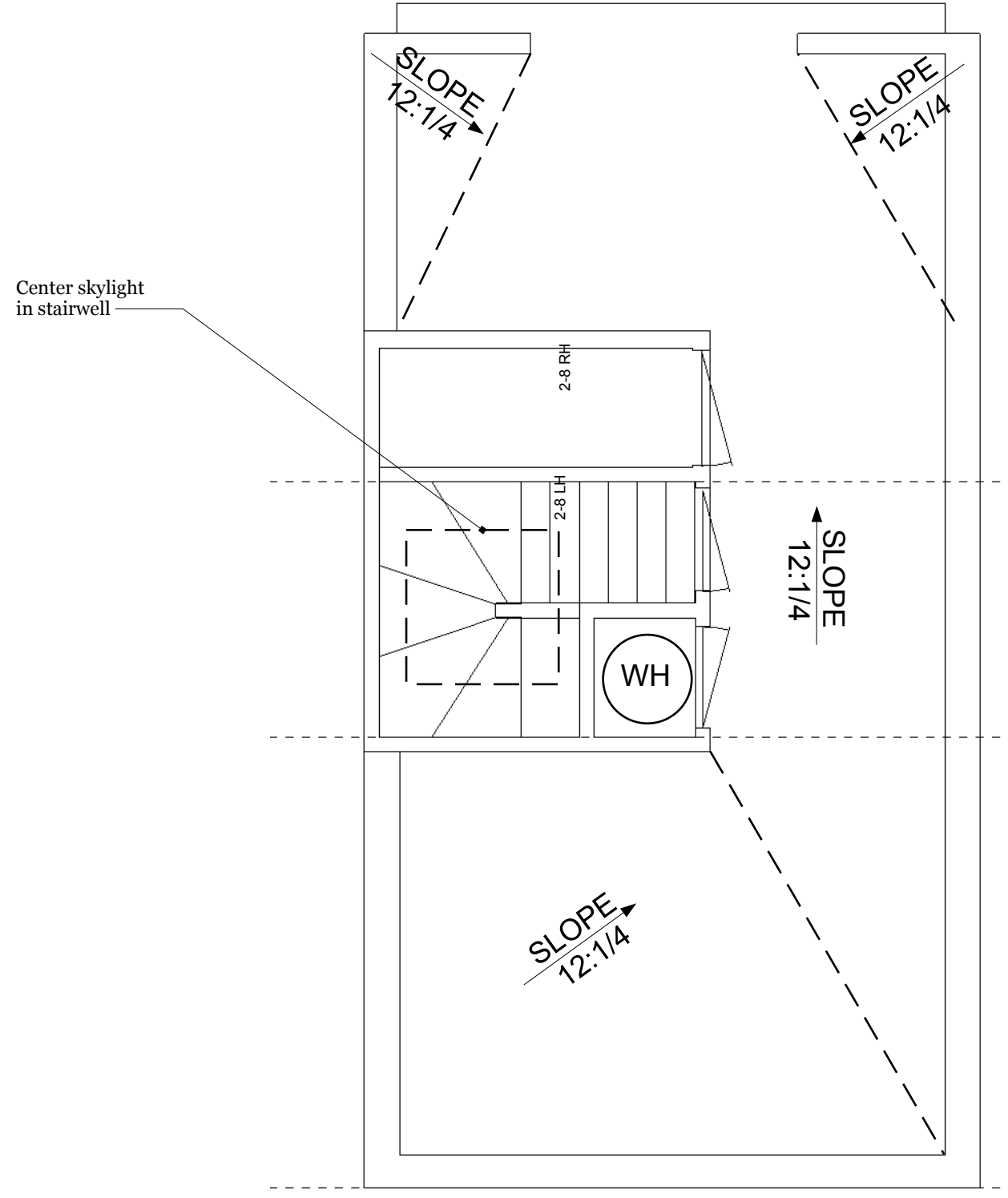
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ELEVATIONS

A 302



Roof Plan
1/4" = 1' 0"



Roof Plan
1/4" = 1' 0"

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