

LINE	BEARING	DISTANCE
L1	N 61° 06' 01" E	27.33
L2	N 60° 54' 43" E	5.07
L3	S 60° 54' 43" W	5.06
L4	S 28° 53' 59" E	24.05

LEGEND:
 ○ PROPOSED WATER METER
 △ PROPOSED SEWER CLEAN OUT

Plans Authorized for Construction
 City of Raleigh
 Plans Examiner
 Becky Stockdale
 11/04/2021

NOTES:
 1. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
 2. THIS SURVEY DONE WITHOUT THE BENEFIT OF A TITLE SEARCH.
 3. ALL IRONS FOUND ARE FLUSH WITH GROUND UNLESS OTHERWISE NOTED.
 4. SITE TO BE RE-GRADED, SEE ARCHITECTURAL ELEVATIONS FOR PROPOSED GRADES.

NOTE: 1. BUILDER MUST VERIFY DIMENSIONS PRIOR TO FIELD STAKING.
 2. BUILDER ACCEPTS ALL LIABILITY FOR SETBACK VIOLATIONS.
 3. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
 4. PORCHES, DECKS, PATIOS NOT STAKED IN FIELD.

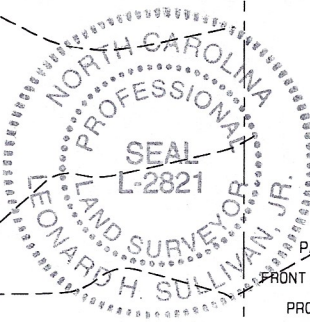
VICINITY MAP
 NOT TO SCALE

LOT 1
 BoM 1986 Pg 858

LOT 2
 BoM 1986 Pg 858

SITE DATA TABLE:

PIN: 0793-98-6154
 SITE SIZE: 0.0780 AC
 ZONING: R-10
 OVERLAY DISTRICT: SRPOD
 CURRENT USE: RESIDENTIAL
 EXISTING IMPERVIOUS: UNKNOWN
 INFILL STATUS: YES
 ALLOWED HEIGHT: 3 STORIES/40'
 SETBACKS: FRONT: TBD
 REAR: 20'
 SIDE: 5'
 BUILDING SQUARE FOOTAGE: 335 SF
 PROPOSED IMPERVIOUS: 1541 SF

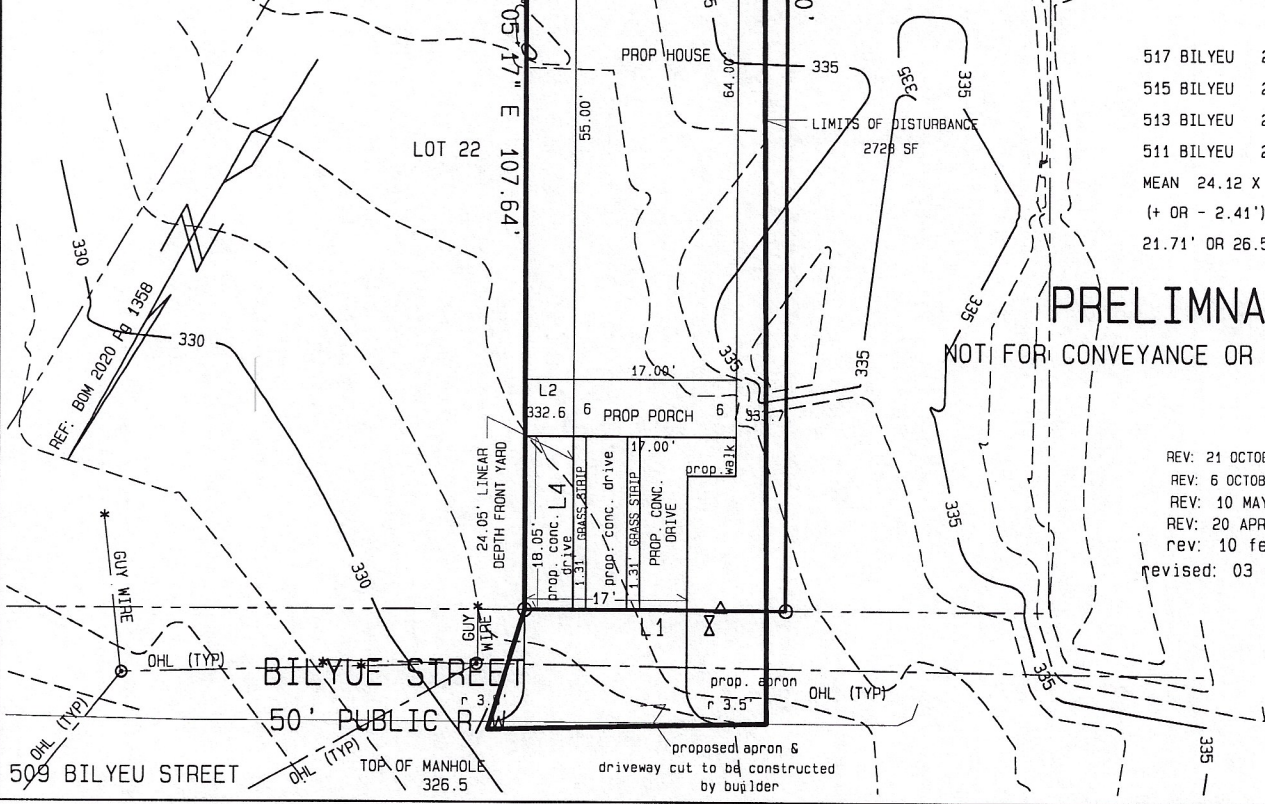


PARKING OVERLAYS CALCS.
 FRONT YARD = 657 X 40% = 262 SF
 PROPOSED DRIVE +/- 260 SF
 24.05' x 12' + 380 = 668.60'
 PROPOSED IMPERVIOUS SURFACE AREA
 HOUSE +/- 977 SF
 DRIVE/WALK +/- 281 SF
 COV. PORCH +/- 102 SF
 PORCH(REAR) +/- 110 SF
 HVAC PAD +/- 09 SF
 TOTAL +/- 1479 SF OR 41.56%
 LOT TOTAL 3559 SF

517 BILYEU 23.95'
 515 BILYEU 24.11'
 513 BILYEU 24.13'
 511 BILYEU 24.92'
 MEAN 24.12 X 10%
 (+ OR - 2.41')
 21.71' OR 26.53'

PRELIMINARY
 NOT FOR CONVEYANCE OR SALES

REV: 21 OCTOBER 2021
 REV: 6 OCTOBER 2021
 REV: 10 MAY 2021
 REV: 20 APRIL 2021
 rev: 10 feb. 2021
 revised: 03 feb. 2021



BOOK OF MAPS 2020 PAGE 1916 DEED BOOK 9395 PAGE 127 * NOT FOR RECORDATION *

LOT 23 PULLEN PARK TERRACE

I, LEONARD H. SULLIVAN JR., DO HEREBY CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION USING REFERENCES SHOWN HEREON; THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES PLOTTED FROM INFORMATION SHOWN HEREON; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; THAT THIS PLAT MEETS THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56, 1600) WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER (L-2821) AND SEAL.

ALSO, I CERTIFY THAT THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

SRV'D: DRAWN: MESS CHK'D: LHS JOB # 20 DATE: 03 SEPTEMBER 2020 SCALE: 1" = 20'

SULLIVAN SURVEYING
 LAND SURVEYORS
 1143-D EXECUTIVE CIRCLE
 CARY, NORTH CAROLINA 27511
 TELEPHONE: (919) 469-4738

SURVEY FOR:
 A. SQUARED, L.L.C.
 CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA