

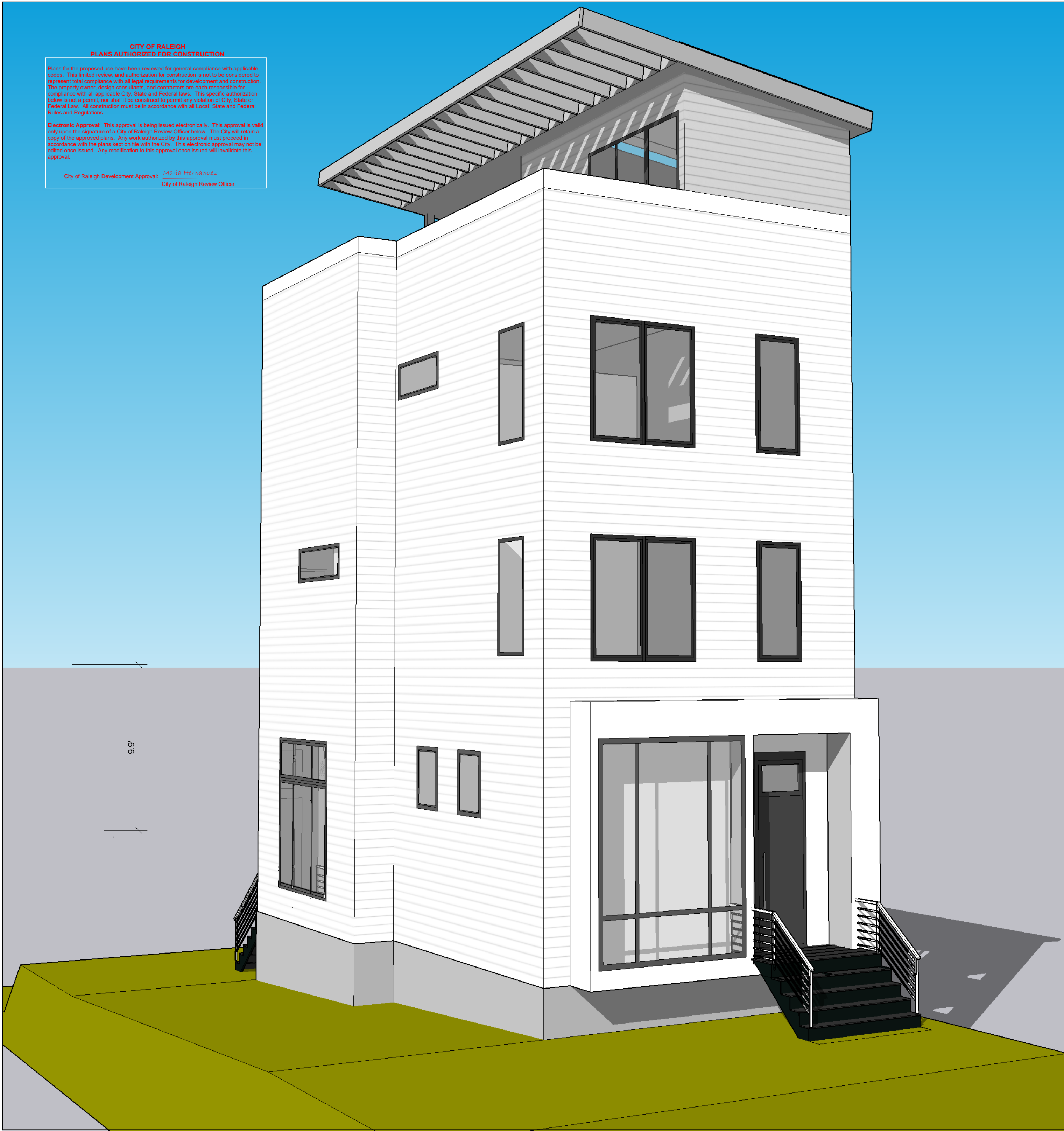
BLDR-000416-2022 FINAL PLAN SET.pdf

**CITY OF RALEIGH  
PLANS AUTHORIZED FOR CONSTRUCTION**

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All construction must be in accordance with all Local, State and Federal Rules and Regulations.

**Electronic Approval:** This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval: Maria Hernandez  
City of Raleigh Review Officer



# The Modern Classic

## DRAWING INDEX

- A001: Cover Sheet
- A101: Floor Plans
- A202: Roof Plans
- A301: Elevations 1
- A302: Elevations 2
- D107: Stairs
- S101: Foundation Plan
- S102: Structural Floor Plans
- S103: Roof Plans
- S104: Structural Details

## PROJECT INFO

ADDRESS: 617 Velma Hopkins

LOT: 30 CARAELIGH COMMONS

SCOPE: SINGLE FAMILY RESIDENCE

WOOD FRAME STRUCTURE OVER  
CRAWLSPACE

RESIDENCE - 2295 SQFT

FLOOR 1 -  
 HEATED - 734 SQFT  
 UNHEATED - 109 SQFT (PORCH)  
 UNHEATED - 30 SQFT (STOOP)

FLOOR 2 -  
 HEATED - 719 SQFT

FLOOR 3 -  
 HEATED - 720 SQFT

ROOF  
 HEATED - 122 SQFT  
 ROOF DECK - 526 SQFT

PLUMBING, MECHANICAL, ELECTRICAL  
TO BE DESIGN BUILD PER NORTH  
CAROLINA RESIDENTIAL CODE

## SITE NOTES

1. ALL SITE SERVICES PER CITY OF RALEIGH REQUIREMENTS
2. SLOPE EXTERIOR SLABS AWAY AT 2%
3. SLOPE GRADE AWAY AT 5% FOR A MINIMUM OF 5'

DESIGNED TO NC RESIDENTIAL  
BUILDING CODE 2019

REVISIONS

REMARKS

REV/DATE

1

2

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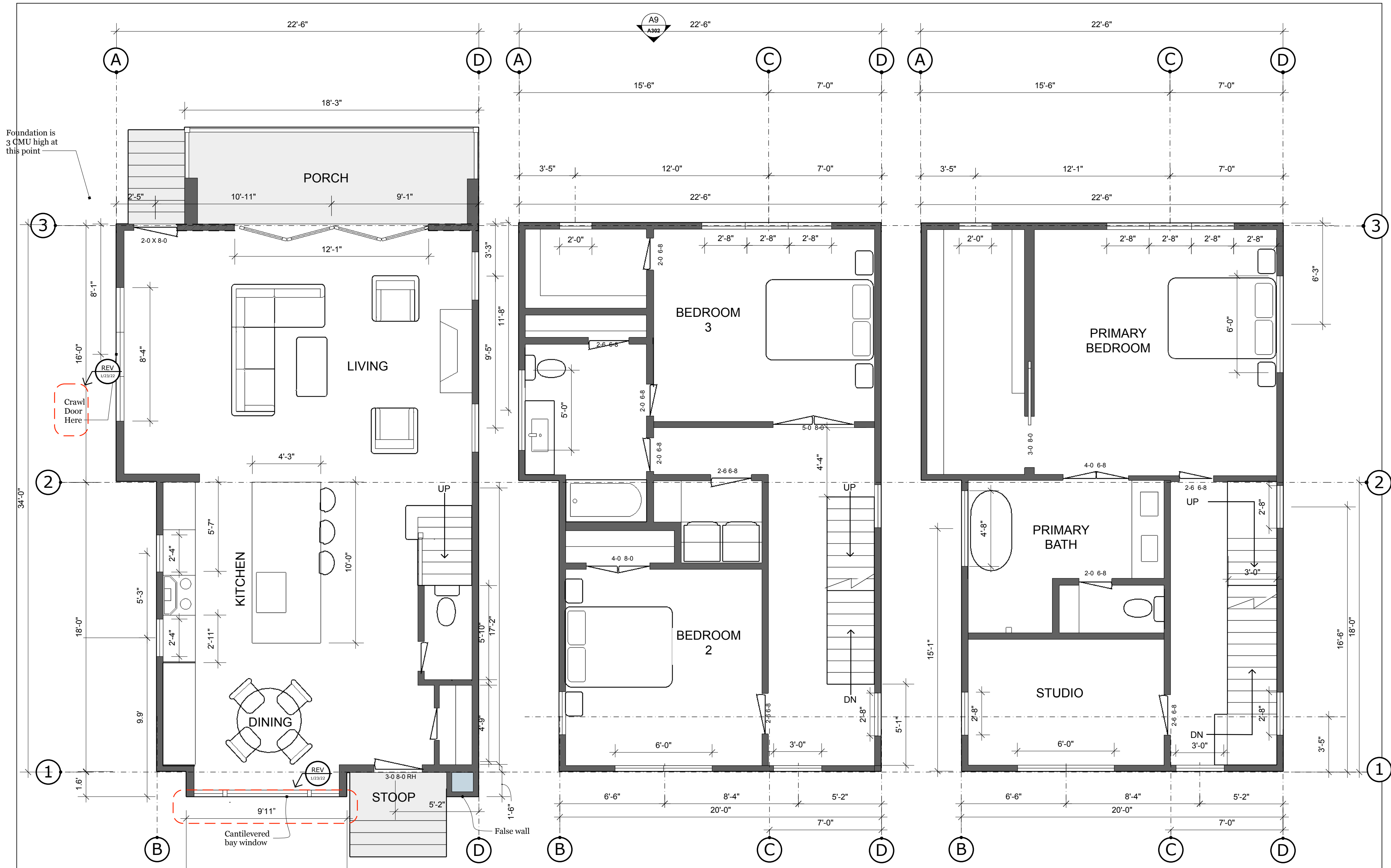
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**CITYSPACE HOMES LLC**

514-338 DANIELS STREET RALEIGH NC 27605

**THE HENRY HOUSE**

**COVER PAGE**



First Floor Plan	<b>A4</b>
1/4" = 1' 0"	

Second Floor Plan	<b>A3</b>
1/4" = 1' 0"	

Third Floor Plan	<b>A2</b>
1/4" = 1' 0"	

HVAC

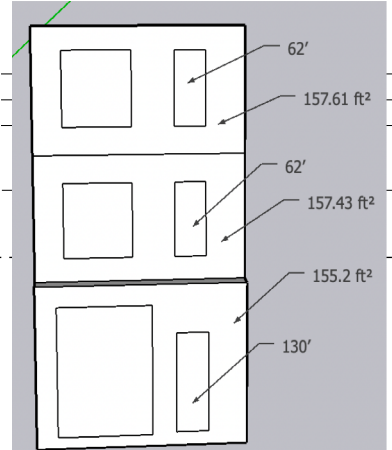
**Framing Notes**  
 ALL DIMENSIONS ARE TO FINISHED WALLS UNLESS OTHERWISE NOTED  
 Always install headers as high as possible on standard height walls and at 107.5" high on extra height walls  
 Always use california corners and ladder wall connections  
 Always frame 2x6 walls at the rear of laundry rooms  
 Stack Laundry - see stack laundry detail about location of studs in rear of stack laundry



REVISIONS	REMARKS
1	
2	
3	
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**FLOOR PLANS**



**TRANSPARENCY CALCULATIONS**

Floor	Solid	Trans	%
3rd Floor	157.6	62.0	28.2%
2nd Floor	157.6	62.0	28.2%
1st Floor	171.0	130.0	43.2%

**Required Min Transparency**

Upper Floors	15.00 %
Ground Floor	20.00 %

Front Elevation  
1/4" = 1' 0" **A7**

Left Side Elevation  
1/4" = 1' 0" **A6**

REV	DATE	BY	CHK	APP	REMARKS

CITYSPACE HOMES LLC

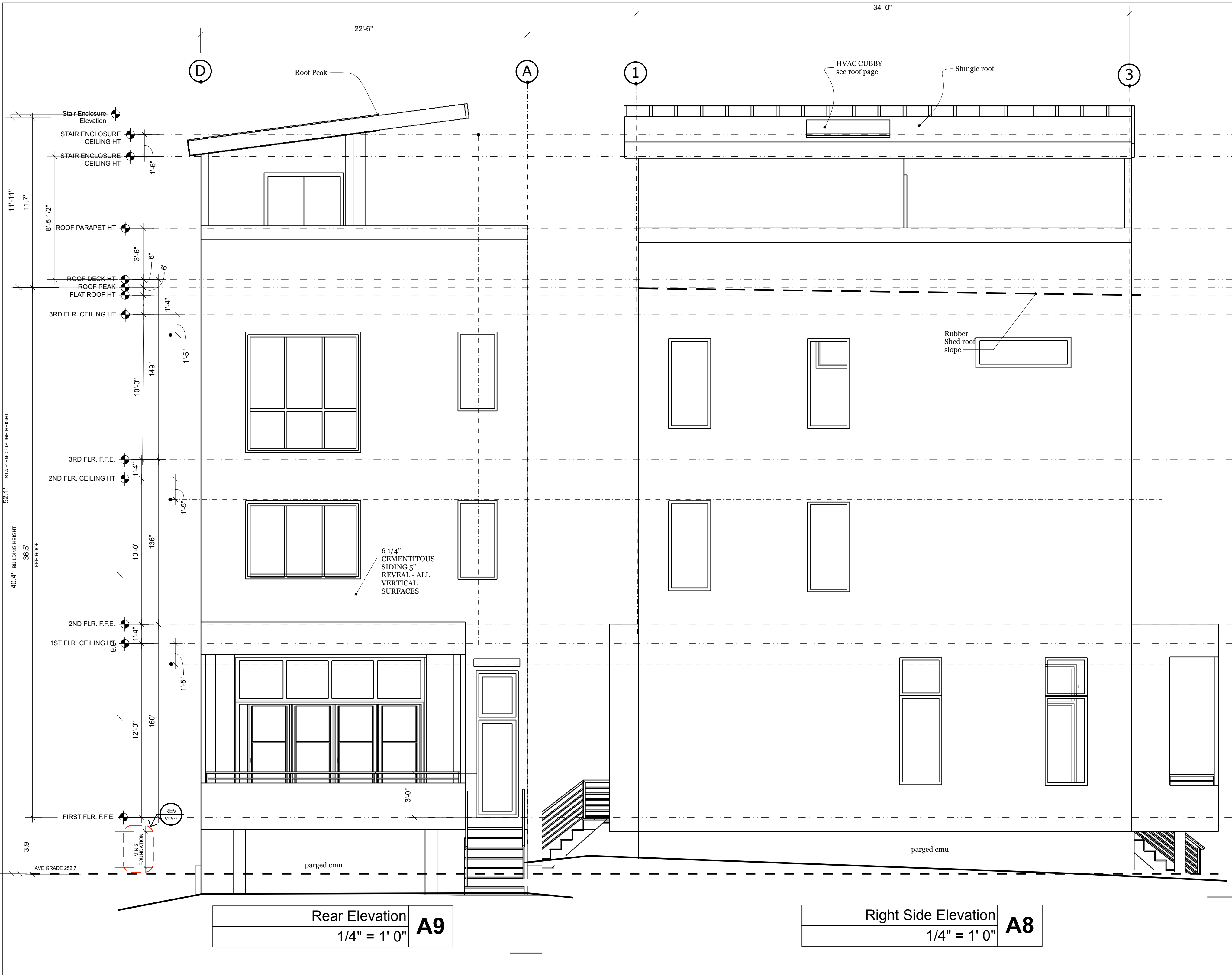
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THE HENRY HOUSE

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ELEVATIONS

A	301
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REVISIONS	REMARKS
MM/DD/YY	
1	
2	
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**ELEVATIONS**

**THE HENRY HOUSE**