

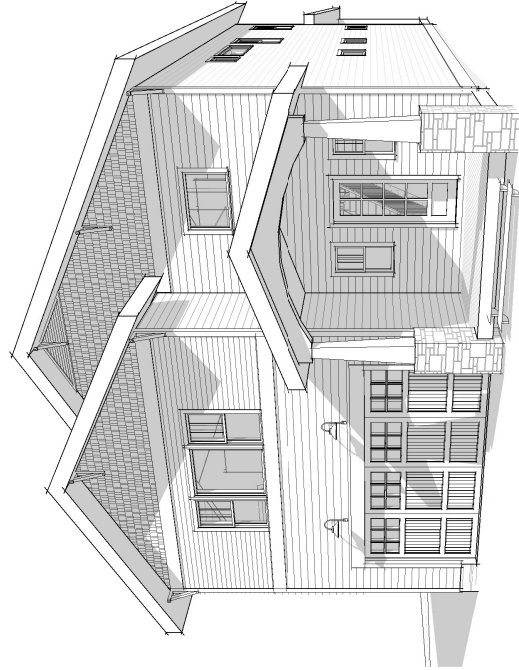
**HEATED SF:**  
 1ST FL: 1,075 (REALTOR: 1,150)  
 2ND FL: 1,325 (REALTOR: 1,400)  
 TOTAL: 2,400 (REALTOR: 2,600)

**UNHEATED SF:**  
 ROOF: 475  
 FRONT PORCH: 120  
 BACK DECK: 140

NOTE: XXX

\*AVERAGE GRADE DETERMINED AS THE AVERAGE OF THE (H) BUILDING CORNER ELEVATIONS SINCE THE HIGH AND LOW GRADES ALONG EACH ELEVATION IN ACCORDANCE WITH TC-17-1-16.

000.0'  
 000.0'  
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 400.0'  
 0000.0' / 4 = 000.0'



**\*\* All Photos on the websites, MLS listings and Marketing flyers are of similar homes. Drawings and floor plans are artist renderings only and are NOT to be considered 100% representative of the home to be constructed. The actual floor plans and the completed structure may vary from the photographs and drawings shown. The buyer should investigate and determine the specific dimensions, materials and finishes to be used in the construction. \*\***

**GENERAL NOTES**

1. ALL CONSTRUCTION TO CONFORM TO 2018 NC RESIDENTIAL BUILDING CODE (NRC).
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND QUANTITIES OF THE GENERAL CONTRACTOR.
3. DIMENSIONS ARE TO FINISHED SURFACE UNLESS OTHERWISE NOTED.
4. WINDOW HEIGHT ON 1ST FLOOR IS 8'-0" AFF UNLESS OTHERWISE NOTED.
5. WINDOW HEIGHT ON 2ND FLOOR IS 7'-4" AFF UNLESS OTHERWISE NOTED.
6. ALL DOORS TO BE SET 1/2" FROM ADJACENT PERPENDICULAR WALL UNLESS OTHERWISE NOTED.
7. ALL ELECTRICAL AND PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH NATIONAL ELECTRICAL AND PLUMBING CODES UNLESS OTHERWISE NOTED. ALL ELECTRICAL AND PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST NATIONAL ELECTRICAL AND PLUMBING CODES UNLESS OTHERWISE NOTED. ALL ELECTRICAL AND PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST NATIONAL ELECTRICAL AND PLUMBING CODES UNLESS OTHERWISE NOTED.
8. ELECTRICAL LAYOUT BY GENERAL CONTRACTOR.

**CRAWL SPACE**

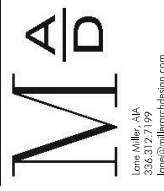
9. CRAWL SPACE SHALL BE SEALED AND CONDITIONED IN ACCORDANCE WITH NRC SECTION R409.
10. PROVIDE ACCESS TO CRAWL SPACE PER NRC SECTION R409.1.2.
11. THE FLOOR OF THE CRAWL SPACE SHALL BE GRADED SO THAT IT DRAINS TO ONE OR MORE LOW SPOTS. INSTALL A DRAIN TO DAYLIGHT OR SUMP PUMP AT EACH LOW SPOT. CRAWL SPACE DRAINS SHALL BE KEPT SEPARATE FROM ROOF GUTTER DRAIN SYSTEMS AND FOUNDATION PERIMETER DRAINS.

**EGRESS**

12. PROVIDE MINIMUM OF (1) WINDOW PER BEDROOM THAT MEETS EGRESS REQUIREMENTS PER NRC SECTION 310.1.
13. CONSULT WINDOW MANUFACTURERS SPECIFICATIONS FOR EGRESS REQUIREMENTS, PRESSURE RATINGS, AND ROUGH OPENINGS.

**STAIRWAY**

14. STAIRWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH NRC SECTION R311.7.
15. INTERIOR STAIR WIDTH: MINIMUM OF 36" ABOVE HANDRAIL. MINIMUM OF 31.5" BELOW HANDRAIL WHERE HANDRAIL IS INSTALLED ON ONE SIDE AND 36" ABOVE HANDRAIL WHERE HANDRAIL IS INSTALLED ON BOTH SIDES.
16. RISER HEIGHT: MAXIMUM RISER HEIGHT OF THE CHEEDEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE TOP AND BOTTOM RISER OF INTERIOR STAIRS SHALL NOT EXCEED THE SMALLEST RISER BY MORE THAN 3/4".
17. TREAD DEPTH: MINIMUM TREAD DEPTH OF 11". THE GREATEST TREAD DEPTH SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".
18. PROVIDE TEMPERED GLAZING IN HAZARDOUS LOCATIONS AS DEFINED IN NRC SECTION 308.4.



Enter Address Here

PROJECT: THE OAK  
 FOR: Owner

PROJECT NUMBER: 17-003  
 DATE: 9-25-19  
 PHASE: FOR REVIEW ONLY  
 SCALE:

REVISIONS:  
 NO. ISSUE DATE

COVER

A0-A

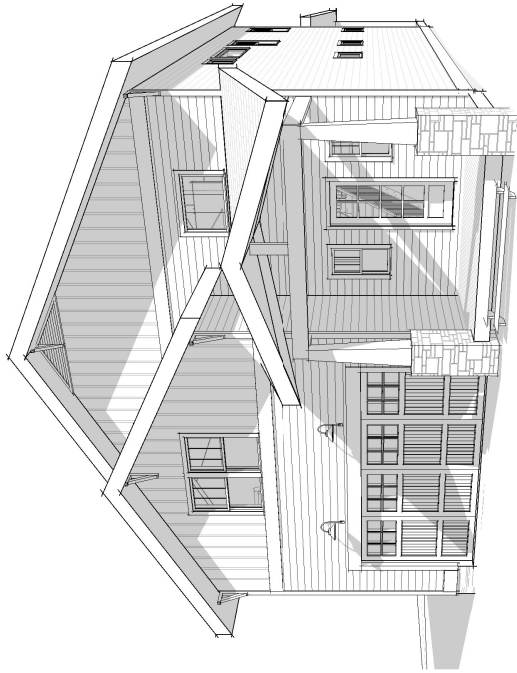
**HEATED SF:**  
 1ST FL: 1,075 (REATOR: 1,150)  
 2ND FL: 1,325 (REATOR: 1,400)  
 TOTAL: 2,400 (REATOR: 2,600)

**UNHEATED SF:**  
 ROOF: 1,200  
 PORCH: 120  
 BACK DECK: 140

NOTE: XXX

\*AVERAGE GRADE DETERMINED AS THE AVERAGE OF THE (H) BUILDING CORNER ELEVATIONS SINCE THE ELEVATIONS AT THE HIGH AND LOW GRADES ALONG EACH ELEVATION, IN ACCORDANCE WITH TC-17-1-16.

000.0'  
 000.0'  
 000.0'  
 400.0'  
 0000.0' / 4 = 000.0'



**GENERAL NOTES**

1. ALL CONSTRUCTION TO CONFORM TO 2018 NC RESIDENTIAL BUILDING CODE (NRC).
2. ALL DIMENSIONS ARE METRIC UNLESS OTHERWISE NOTED.
3. DIMENSIONS ARE TO FINISHED SURFACE UNLESS OTHERWISE NOTED.
4. WINDOW HEIGHT ON 1ST FLOOR IS 8'-0" AFF UNLESS OTHERWISE NOTED.
5. WINDOW HEIGHT ON 2ND FLOOR IS 7'-4" AFF UNLESS OTHERWISE NOTED.
6. ALL DOORS TO BE SET 6" FROM ADJACENT PERPENDICULAR WALL UNLESS OTHERWISE NOTED.
7. ALL ELECTRICAL AND PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS AND TO BE IN ACCORDANCE WITH THE STRUCTURAL DRAWINGS FOR ACTUAL SIZES AND ADDITIONAL INFORMATION.
8. ELECTRICAL LAYOUT BY GENERAL CONTRACTOR.

**CRAWL SPACE**

9. CRAWL SPACE SHALL BE SEALED AND CONDITIONED IN ACCORDANCE WITH NRC SECTION R409.
10. PROVIDE ACCESS TO CRAWL SPACE PER NRC SECTION R409.1.2.
11. THE FLOOR OF THE CRAWL SPACE SHALL BE GRADED SO THAT IT DRAINS TO ONE OR MORE LOW SPOTS. INSTALL A DRAIN TO DAYLIGHT OR SUMP PUMP AT EACH LOW SPOT. CRAWL SPACE DRAINS SHALL BE KEPT SEPARATE FROM ROOF GUTTER DRAIN SYSTEMS AND FOUNDATION PERIMETER DRAINS.

**EGRESS**

12. PROVIDE MINIMUM OF (1) WINDOW PER BEDROOM THAT MEETS EGRESS REQUIREMENTS PER NRC SECTION 310.1.
13. CONSULT WINDOW MANUFACTURERS SPECIFICATIONS FOR EGRESS REQUIREMENTS, PRESSURE RATINGS, AND ROUGH OPENINGS.

**STAIRWAY**

14. STAIRWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH NRC SECTION R311.7:
- INTERIOR STAIR WIDTH: MINIMUM OF 36" ABOVE HANDRAIL. MINIMUM OF 31.5" BELOW HANDRAIL WHERE HANDRAIL IS INSTALLED ON ONE SIDE AND TWO SIDES.
- RISE: MAXIMUM RISE HEIGHT OF 7" PER STEP. RISE HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE TOP AND BOTTOM RISER OF INTERIOR STAIRS SHALL NOT EXCEED THE SMALLEST RISER BY MORE THAN 3/4".
- TREAD DEPTH: MINIMUM TREAD DEPTH OF 11". THE GREATEST TREAD DEPTH SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".

**GLAZING**

15. PROVIDE TEMPERED GLAZING IN HAZARDOUS LOCATIONS AS DEFINED IN NRC SECTION 308.4.



1000 Mills, #14  
 324 S. 17th St.  
 Leno@millersdesign.com

Enter Address Here

PROJECT: THE OAK  
 FOR: Owner

PROJECT NUMBER: 17-003  
 DATE: 9-25-19  
 PHASE: FOR REVIEW ONLY  
 SCALE:

REVISIONS:  
 NO. ISSUE DATE

COVER

A0-B

11/18/2019 2:16:25 PM

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**HEATED SF:**  
 1ST FL: 1,075 (REALTOR: 1,150)  
 2ND FL: 1,335 (REALTOR: 1,420)  
 TOTAL: 2,410 (REALTOR: 2,600)

**UNHEATED SF:**  
 GARAGE: 475  
 FRONT PORCH: 120  
 BACK DECK: 140

NOTE: XXX

\*AVERAGE GRADE DETERMINED AS THE AVERAGE OF THE (H) BUILDING CORNER ELEVATIONS SINCE THE HIGH AND LOW GRADES ALONG EACH ELEVATION, IN ACCORDANCE WITH TC-17-16.

000.0  
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 400.0  
 0000.0 / 4 = 000.0



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**GENERAL NOTES**

1. ALL CONSTRUCTION TO CONFORM TO 2018 NC RESIDENTIAL BUILDING CODE (NRC).
2. DIMENSIONS ARE TO FINISHED SURFACE UNLESS OTHERWISE NOTED.
3. WINDOW HEIGHT ON 1ST FLOOR IS 8'-0" AFF UNLESS OTHERWISE NOTED.
4. WINDOW HEIGHT ON 2ND FLOOR IS 7'-4" AFF UNLESS OTHERWISE NOTED.
5. ALL DOORS TO BE SET 1/2" FROM ADJACENT PERPENDICULAR WALL UNLESS OTHERWISE NOTED.
6. STRUCTURAL ELEMENTS SHALL BE SHOWN IN ALL SECTIONS UNLESS OTHERWISE NOTED.
7. STRUCTURAL ELEMENTS SHOWN ARE FOR REPRESENTATIONAL PURPOSES ONLY. SEE SIGNED AND SEALED STRUCTURAL DRAWINGS FOR ACTUAL SIZES AND ADDITIONAL INFORMATION.
8. ELECTRICAL LAYOUT BY GENERAL CONTRACTOR.

**CRAWL SPACE**

9. CRAWL SPACE SHALL BE SEALED AND CONDITIONED IN ACCORDANCE WITH NRC SECTION R409.
10. PROVIDE ACCESS TO CRAWL SPACE PER NRC SECTION R409.1.2.
11. THE FLOOR OF THE CRAWL SPACE SHALL BE GRADED SO THAT IT DRAINS TO ONE OR MORE LOW SPOTS. INSTALL A DRAIN TO DAYLIGHT OR SUMP PUMP AT EACH LOW SPOT. CRAWL SPACE DRAINS SHALL BE KEPT SEPARATE FROM ROOF, GUTTER DRAIN SYSTEMS AND FOUNDATION PERIMETER DRAINS.

**EGRESS**

12. PROVIDE MINIMUM OF (1) WINDOW PER BEDROOM THAT MEETS EGRESS REQUIREMENTS PER NRC SECTION 310.1.
13. CONSULT WINDOW MANUFACTURERS SPECIFICATIONS FOR EGRESS REQUIREMENTS, PRESSURE RATINGS, AND ROUGH OPENINGS.

**STAIRWAY**

14. STAIRWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH NRC SECTION R311.7:
- INTERIOR STAIR WIDTH: MINIMUM OF 36" ABOVE HANDRAIL. MINIMUM OF 31.5" BELOW HANDRAIL WHERE HANDRAIL IS INSTALLED ON ONE SIDE AND BOTH SIDES.
- RISER HEIGHT: MAXIMUM RISER HEIGHT OF THE CHEEDEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE TOP AND BOTTOM RISER OF INTERIOR STAIRS SHALL NOT EXCEED THE SMALLEST RISER BY MORE THAN 3/4".
- TREAD DEPTH: MINIMUM TREAD DEPTH OF 11". THE GREATEST TREAD DEPTH SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".

**GLAZING**

15. PROVIDE TEMPERED GLAZING IN HAZARDOUS LOCATIONS AS DEFINED IN NRC SECTION 308.4.



1004 Mills, #14  
 328.3172109  
 lona@millersdesign.com

Enter Address Here

PROJECT: THE OAK  
 FOR: Owner

PROJECT NUMBER: 17-003  
 DATE: 9-25-19  
 PHASE: FOR REVIEW ONLY  
 SCALE:

REVISIONS:  
 NO. ISSUE DATE

COVER

A0-C

11/18/2019 2:16:26 PM

PROJECT: **THE OAK**  
FOR: **Owner**

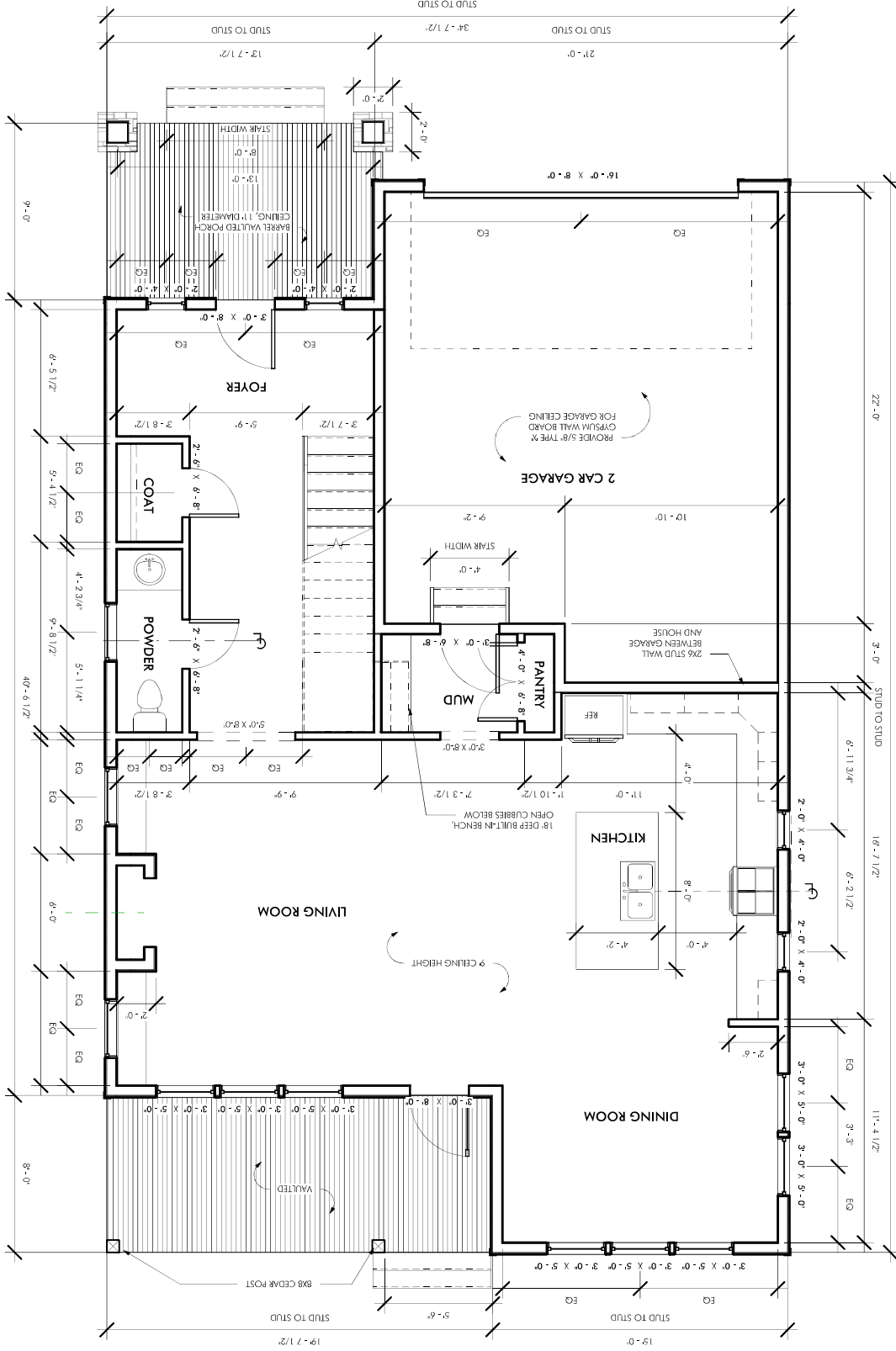
PROJECT NUMBER: 17-003  
DATE: 9-25-19  
PHASE: FOR REVIEW ONLY  
SCALE: 3/16" = 1'-0"

REVISIONS:  
NO. ISSUE DATE

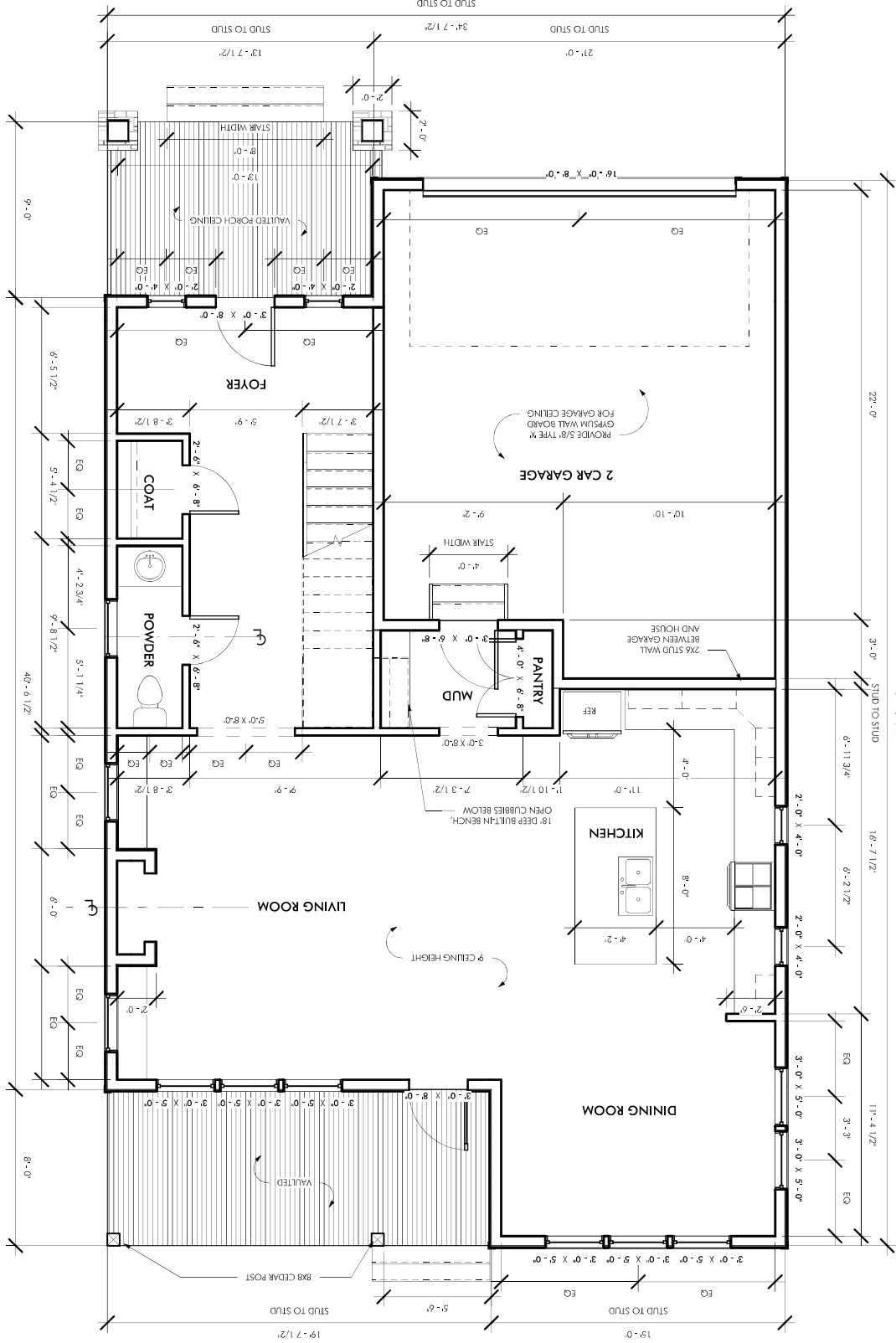
## 1st Floor - Elevation A

## A1-A

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PROJECT: **THE OAK**  
FOR: **Owner**

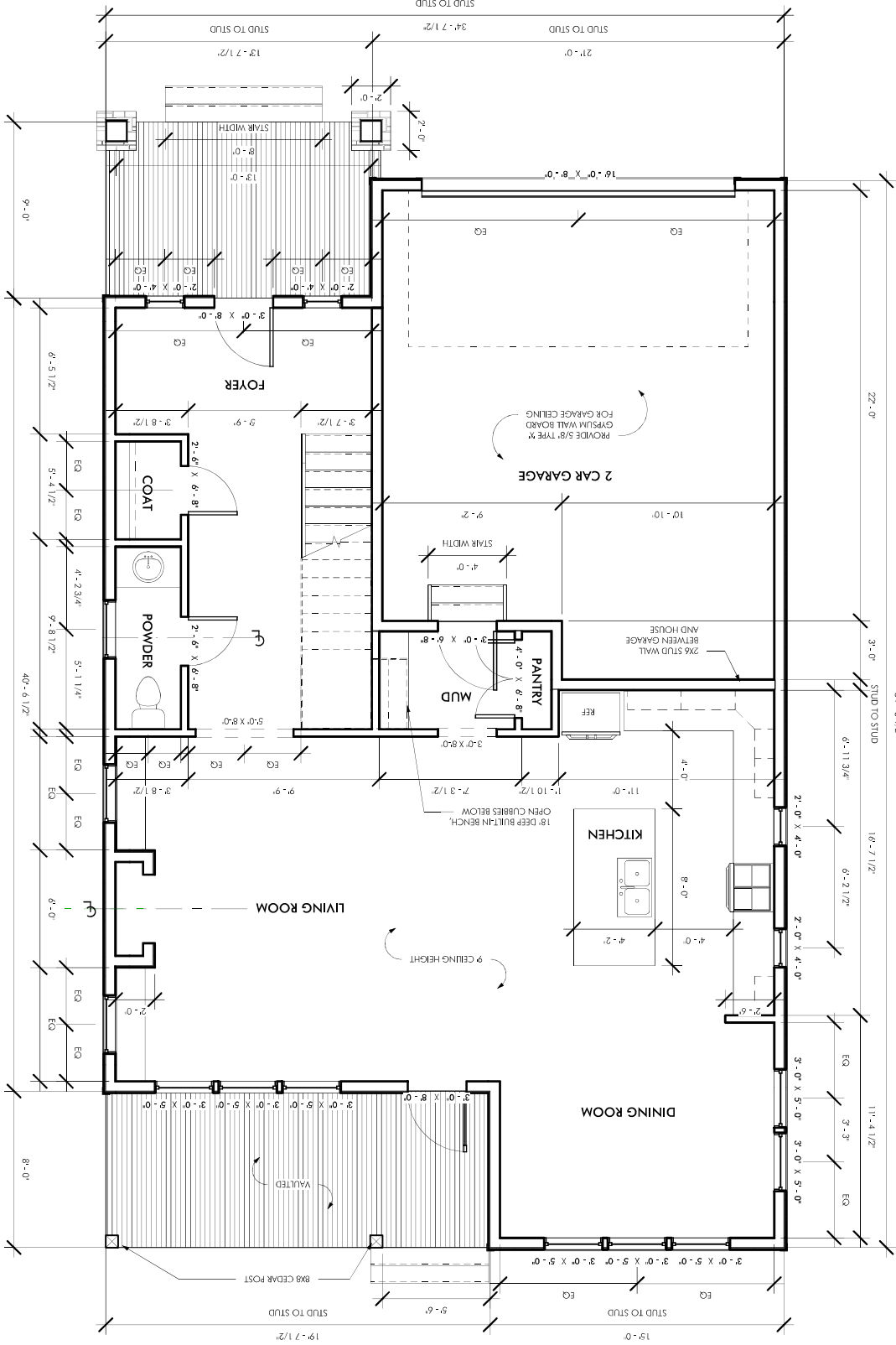
PROJECT NUMBER: 17-003  
DATE: 9-25-19  
PHASE: FOR REVIEW ONLY  
SCALE: 3/16" = 1'-0"

REVISIONS:  
NO. ISSUE DATE

## 1st Floor - Elevation C

## A1-C

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Lowville, NY  
315.377.1296  
lowe@millerdesign.com

Enter Address Here

PROJECT: **THE OAK**  
FOR: **Owner**

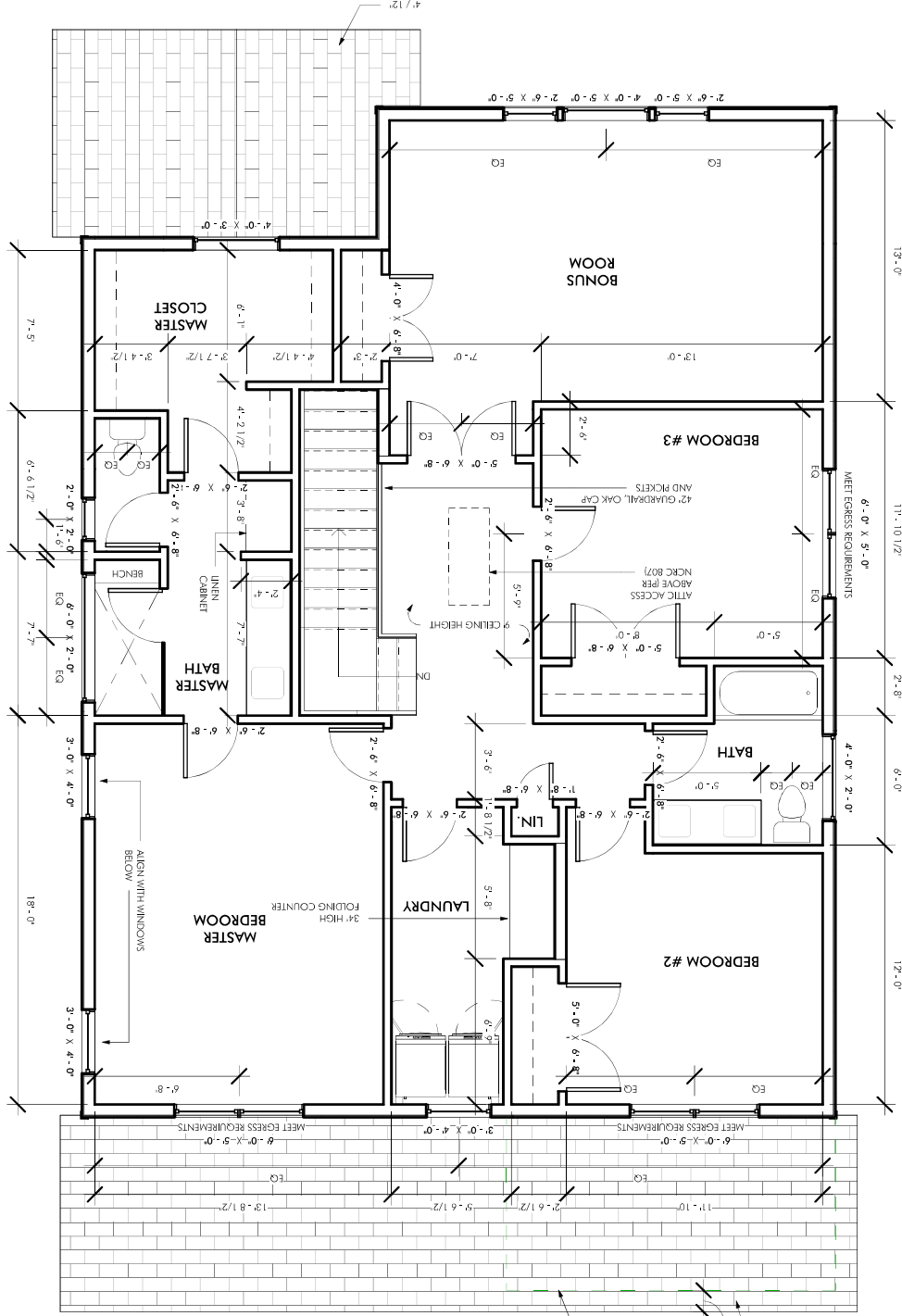
PROJECT NUMBER: 17-003  
DATE: 9-25-19  
PHASE: FOR REVIEW ONLY  
SCALE: 3/16" = 1'-0"

REVISIONS:  
NO. ISSUE DATE

**2nd Floor -  
Elevation A**

**A2-A**

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PROJECT: **THE OAK**  
FOR: **Owner**

PROJECT NUMBER: 17-003  
DATE: 9-25-19  
PHASE: FOR REVIEW ONLY  
SCALE: 3/16" = 1'-0"

REVISIONS:  
NO. ISSUE DATE

## 2nd Floor - Elevation B

### A2-B

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